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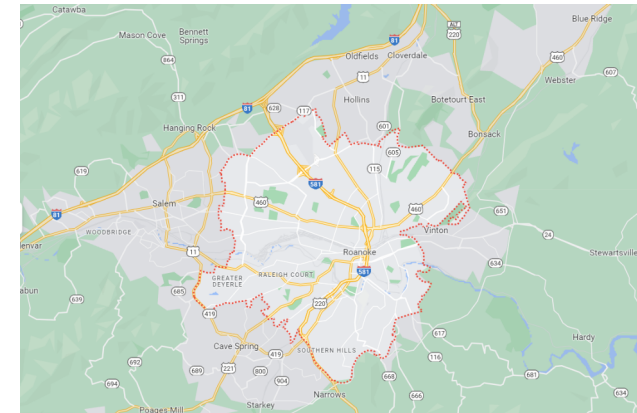
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FOR THE FULL TERMS, SEE ADDITIONAL PROJECT INFORMATION ON **SHEET G0.01**.



**ACCESSORY DWELLING UNIT**  
SUBMISSION BY HALEY KELLAM



**ROANOKE, VIRGINIA**

THIS PROJECT, COVERING 711 SQUARE FEET, WAS METICULOUSLY CRAFTED TO ADDRESS THE UNIQUE NEEDS AND DESIRES OF AN AGING CLIENT, FACING MOBILITY CHALLENGES WHO VALUES A SHARED LIVING AND ACCESSIBILITY, AND REFLECTING ON THE WELCOMING COMMUNITY OF ROANOKE, VIRGINIA. THE DESIGN OF THIS ADU PLACES A STRONG EMPHASIS ON UNIVERSAL DESIGN PRINCIPLES, WHICH GO BEYOND MERE ACCESSIBILITY TO ENSURE THAT THE SPACE IS WELCOMING AND FUNCTIONAL FOR INDIVIDUALS. UNIVERSAL DESIGN PROMOTES AN INCLUSIVE AND ADAPTABLE ENVIRONMENT THAT CATERES TO THE DIVERSE NEEDS OF THE COMMUNITY. BY INCORPORATING FEATURES SUCH AS ACCESSIBLE DOORWAYS, OPEN LIVING SPACES, AND THOUGHTFUL STORAGE SOLUTIONS, THE ADU IS NOT ONLY A COMFORTABLE LIVING SPACE FOR THE AGING CLIENT BUT ALSO A MODEL OF INCLUSIVITY FOR ALL.

TO ACHIEVE THIS, THE UNIT INCORPORATES VARIOUS ACCESSIBLE FEATURES, INCLUDING DOOR AND PATH CLEARANCES, TURNAROUNDS, AND CLEARANCE SPACE FOR APPLIANCES, AS OUTLINED IN DETAIL ON PAGE A2.02. THESE THOUGHTFUL FEATURES ENSURE THAT THE ADU IS USABLE BY EVERYONE, REGARDLESS OF MOBILITY CHALLENGES, ALIGNING WITH THE COMMITMENT TO INCLUSIVITY.

ONE OF THE DEFINING CHARACTERISTICS OF THIS ADU IS ITS CAPABILITY FOR HOSTING. RIGHT FROM THE ENTRYWAY, THERE'S A FORMAL AND ELEGANT SENSE OF ARRIVAL. THIS ENTRANCE NOT ONLY EXPRESSES A WARM WELCOME BUT ALSO CREATES A CLEAR DEMARCATION BETWEEN THE LIVING AREA AND THE PRIVATE SPACES. THIS LAYOUT ENSURES THAT GUESTS DO NOT HAVE TO TRAVERSE THROUGH THE BEDROOM TO ACCESS THE BATHROOM, PRESERVING THE PRIVACY OF THE OCCUPANTS AND THEIR VISITORS.

CONTINUING INTO THE LIVING SPACE, A VERSATILE DESK SERVES MULTIPLE PURPOSES, DOUBLING AS A BUFFET OR A BAR DURING GATHERINGS. THE PROVISION OF STORAGE WAS ANOTHER ESSENTIAL CONSIDERATION IN THE DESIGN. THE ADU INCORPORATES MULTIPLE CLOSETS, INCLUDING A COAT CLOSET AND A LINEN CLOSET, AS WELL AS THE VERSATILE DESK. THESE ELEMENTS NOT ONLY ADD FUNCTIONALITY BUT ALSO ENHANCE THE OVERALL ORGANIZATION OF THE UNIT, ALIGNING WITH ROANOKE RESIDENTS' APPRECIATION FOR EFFICIENT LIVING SPACES.

THE LIVING SPACE HAS BEEN THOUGHTFULLY DESIGNED TO REMAIN OPEN, ENSURING FLEXIBILITY FOR VARIOUS GATHERINGS, WHETHER IT'S A FORMAL DINNER OR A CASUAL GET-TOGETHER. LARGE WINDOWS THROUGHOUT THE LIVING SPACE BRING IN AMPLE NATURAL LIGHT, CONNECTING THE INTERIOR WITH THE SCENIC BEAUTY OF ROANOKE'S SURROUNDINGS, REINFORCING THE CITY'S INTRINSIC CHARM AND APPEAL.

THE BEDROOM IS A PRIVATE SPACE FOR THE OWNER OF THE HOME AND IT IS SPACIOUS AND ACCOMMODATING. IT HAS A GENEROUS CLOSET, ALLOWING FOR PLENTY OF STORAGE. WITH ORGANIZED STORAGE, THE RISK OF CLUTTER IS SIGNIFICANTLY REDUCED. CLUTTER NOT ONLY DISRUPTS THE AESTHETICS OF THE SPACE, BUT CAN ALSO BE A POTENTIAL HAZARD, ESPECIALLY FOR SOMEONE FACING MOBILITY CHALLENGES. BY PROVIDING SUFFICIENT STORAGE, WE ENSURE THAT THE LIVING SPACE REMAINS SAFE, MINIMIZING THE RISK OF FALLS AND ACCIDENTS. ADDITIONALLY, THE BEDROOM ALLOWS FOR A TURNAROUND, ALLOWING FOR THE SPACE TO BE USABLE AS THE TENANT AGES.

IN TERMS OF EXTERIOR DESIGN, MY INTENTION WAS TO CREATE AN INVITING AND CHARMING AESTHETIC. TRIM WORK AND A GARDEN BOX HAVE BEEN INCORPORATED TO MAKE THE DWELLING UNIT FEEL LIKE A HOME, GIVING IT CHARACTER AND WARMTH. THESE EXTERIOR DETAILS REFLECT THE LOCAL SPIRIT WHILE ENHANCING THE OVERALL APPEAL OF THE ADU.

IN CONCLUSION, THE DESIGN OF THIS ADU IS A REFLECTION OF ROANOKE'S CORE VALUES – INCLUSIVENESS, HOSPITALITY, AND PRACTICALITY. IT IS A SPACE THAT OPENS ITS DOORS TO WARM GATHERINGS, IS DESIGNED FOR THOUGHTFUL USE AND STORAGE, AND EMBRACES THE INCLUSIVITY OF ALL COMMUNITY MEMBERS. THIS PROJECT REPRESENTS A HARMONIOUS ADDITION TO ROANOKE'S UNIQUE CHARACTER AND ENRICHES THE CITY'S ARCHITECTURAL DIVERSITY.

**APPLICABLE CODES**

- BUILDING CODE:** 2018 INTERNATIONAL RESIDENTIAL CODE
- ELECTRICAL CODE:** 2017 NATIONAL ELECTRICAL CODE
- MECHANICAL CODE:** 2018 INTERNATIONAL MECHANICAL CODE
- PLUMBING CODE:** 2018 INTERNATIONAL PLUMBING CODE
- ENERGY CODE:** 2018 INTERNATIONAL ENERGY CONSERVATION CODE

**INSULATION SHALL HAVE THE MINIMUM FOLLOWING U-FACTOR VALUES:**

- Ceiling - 0.024
- Walls - 0.079
- Floors - 0.047

\*Some reductions are allowed in ceilings and walls with approved continuous insulation methods

**ADU - ROANOKE**

**OWNER:  
PROJECT ADDRESS:**

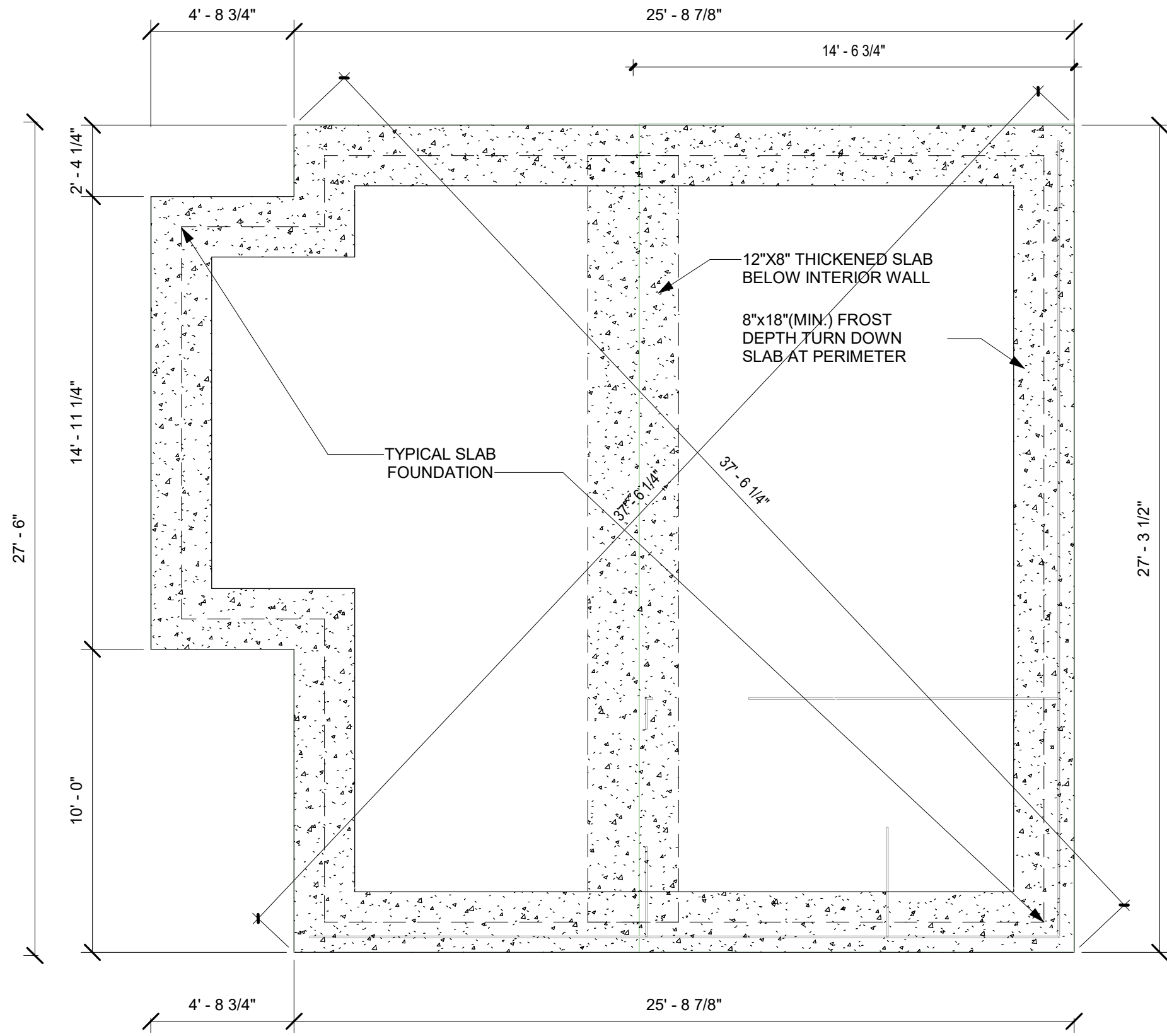
SHEET NAME:

**COVER SHEET**

JOB NUMBER:

ISSUE DATE: 09/28/23

**A00.001**



**FOUNDATION NOTES**

- TYPICAL SLAB: 4" CONCRETE SLAB W/ FIBER MESH OR EQUIVALENT OVER 6 MIL POLY MEMBRANE OVER 4" CLEAN, COMPACTED GRAVEL FILL
- FOOTINGS TO UNDISTURBED SOIL AND AT FROST DEPTH (SEE LOCAL CODES)
- CONCRETE TO BE A MINIMUM OF 3,500 PSI CODE COMPRESSIVE STRENGTH

**ADU - ROANOKE**

OWNER:  
PROJECT ADDRESS:

SHEET NAME:

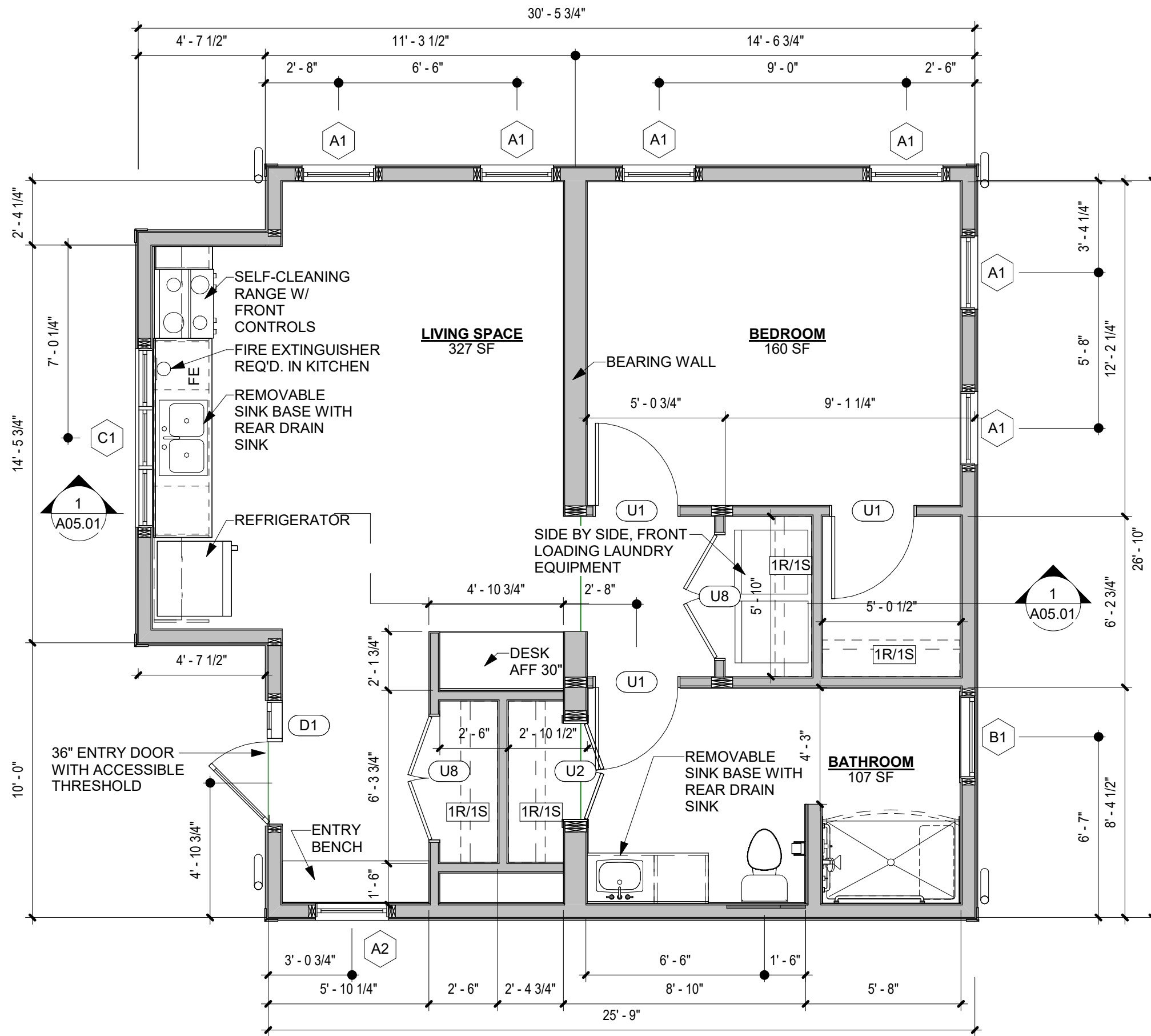
**SLAB PLAN**

JOB NUMBER:

ISSUE DATE: 11/07/23

**A01.01**

**1 SLAB ON GRADE**  
1/4" = 1'-0"



**GENERAL NOTES**

- MINIMUM 8'-6" CEILING HEIGHT
- ALL LOAD BEARING WALLS AND EXTERIOR OPENINGS TO HEAVE (2) X10 HEADERS U.N.O.
- ALL INTERIOR WALLS ARE 2X4 U.N.O.
- REFERENCE WINDOW SCHEDULE FOR SILL OR HEAD HEIGHT OF OPENINGS
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED, MIN.
- DIMENSIONS ARE TO FRAMING U.N.O
- ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R.O. STARTED MINIMUM OF 4" FROM ADJOINING WALL, U.N.O.
- CLOSET SHELF HEIGHT OFF FLOOR: SINGLE: 68" DOUBLE: 42" AND 84"
- ALL PLUMBING FIXTURES SHOWN ARE REPRESENTATIONS OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY. COORDINATE INSTALLATION WITH MANUFACTURER
- REFERENCE INTERIOR ELEVATIONS ON SHEET A04.01
- SMOKE ALARMS REQUIRED INSIDE BEDROOM AND OUTSIDE OF SLEEPING AREA
- IF ANY APPLIANCE WILL BE FUEL POWERED (GAS), A CO ALARM WILL ALSO BE REQUIRED
- FIRE EXTINGUISHER REQUIRED IN KITCHEN AREA
- EXTERIOR WOODEN ELEMENTS ON A DWELLING'S FAÇADE FACING A REQUIRED FRONT YARD SHALL BE PAINTED OR STAINED WITH AN OPAQUE STAIN.

**ADU - ROANOKE**

OWNER:  
PROJECT ADDRESS:

SHEET NAME:

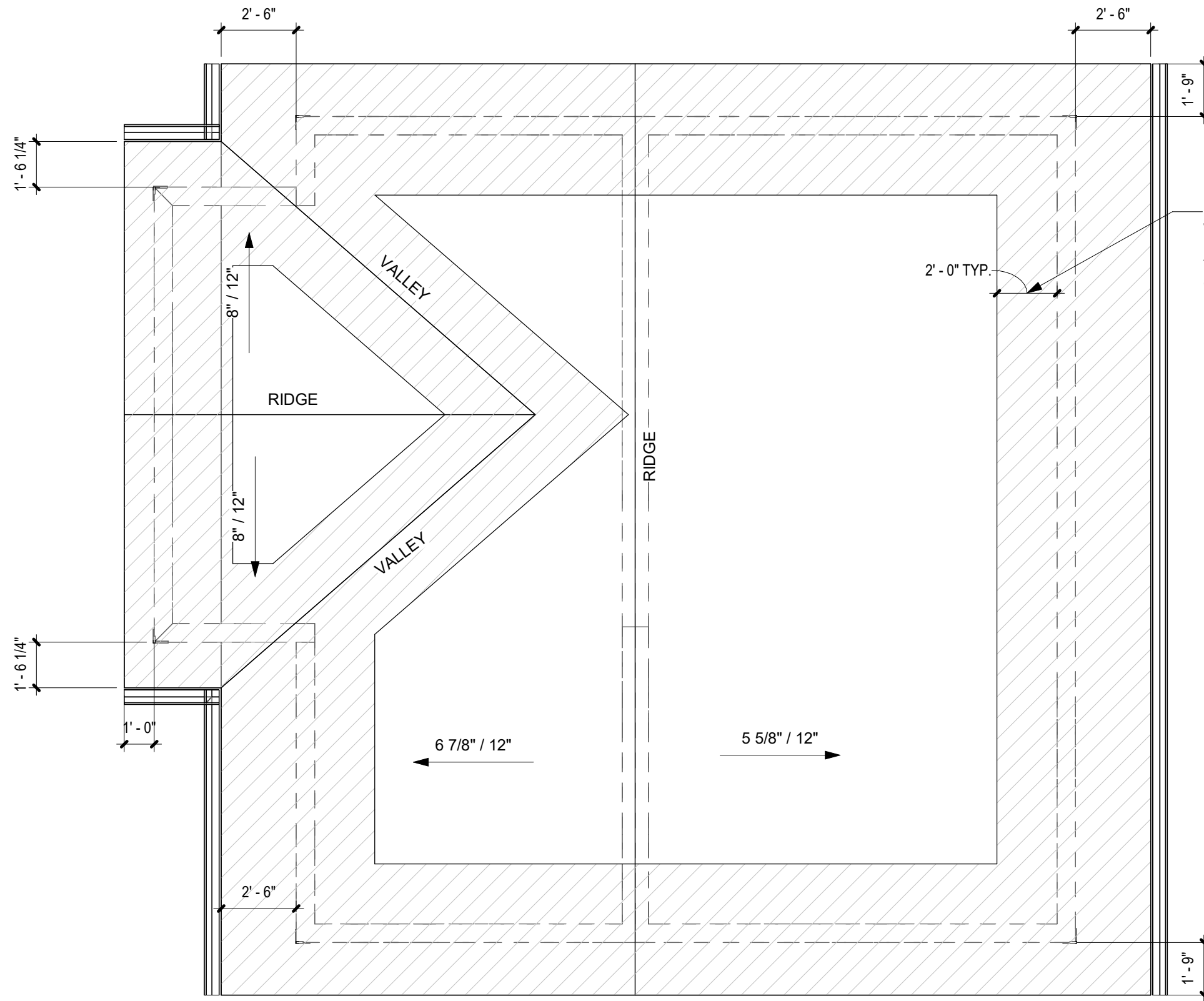
**BUILDING PLANS**

JOB NUMBER:

ISSUE DATE: 09/28/23

**A02.01**

**1 BUILDING PLAN - LEVEL 01**  
1/4" = 1'-0"



# ADU - ROANOKE

OWNER:  
PROJECT ADDRESS:

SHEET NAME:

## ROOF PLAN

JOB NUMBER:

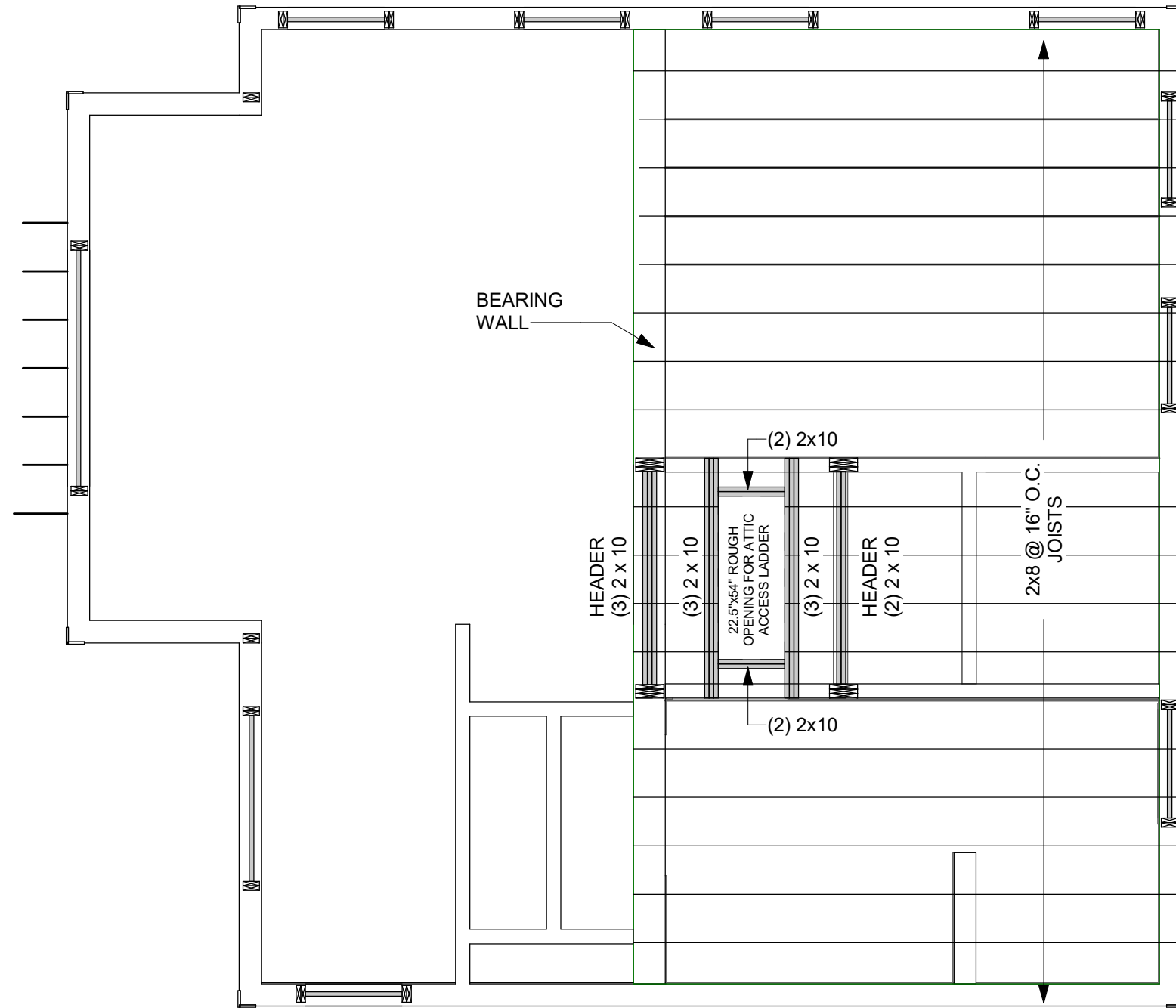
ISSUE DATE: 09/28/23

# A02.11

1

## ROOF PLAN

1/4" = 1'-0"



1 ATTIC FRAMING PLAN  
1/4" = 1'-0"

ADU - ROANOKE

OWNER:  
PROJECT ADDRESS:

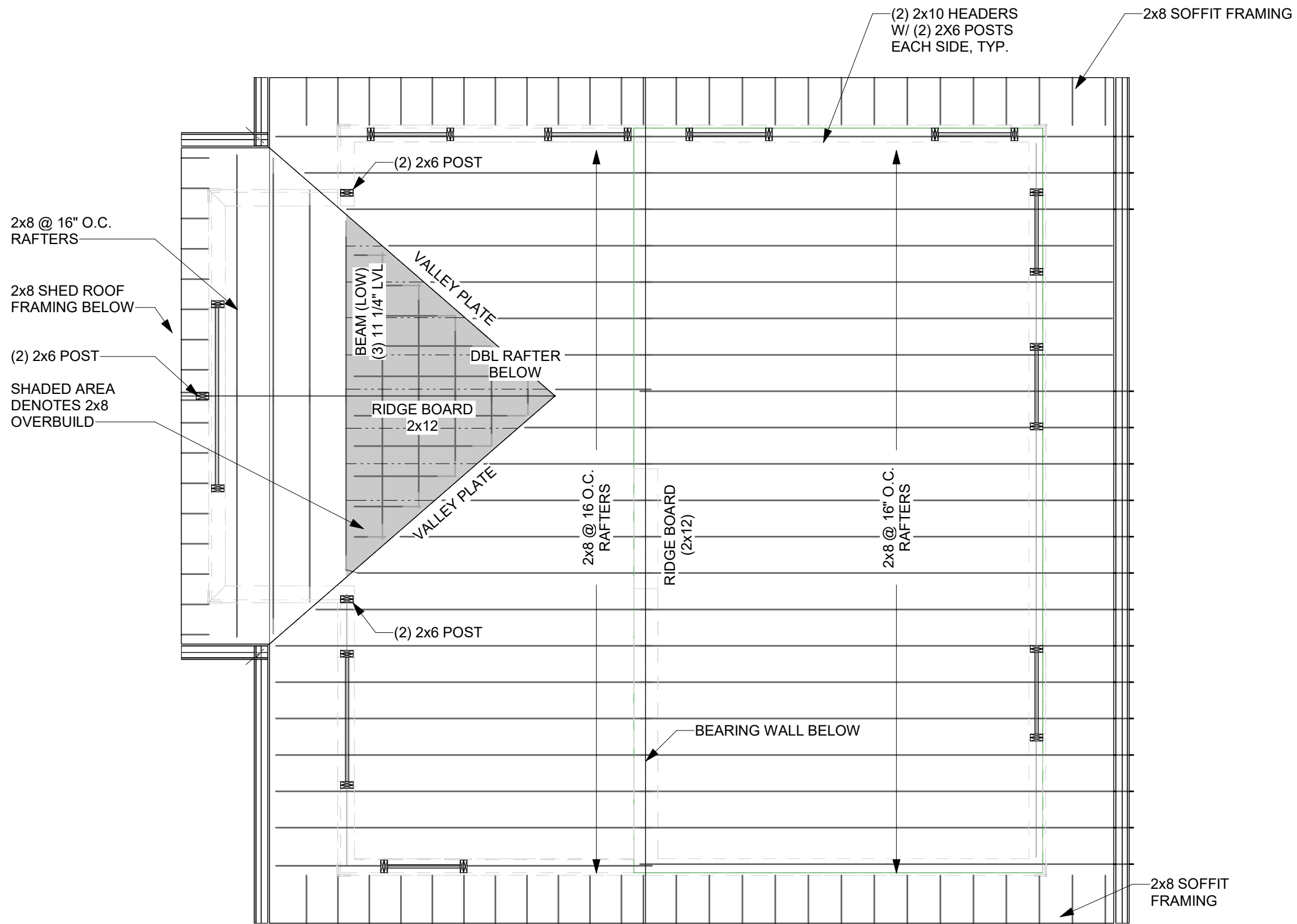
SHEET NAME:

ATTIC FRAMING  
PLANS

JOB NUMBER:

ISSUE DATE: 09/28/23

A02.12



**1** ROOF FRAMING PLAN  
 1/4" = 1'-0"

ADU - ROANOKE

OWNER:  
 PROJECT ADDRESS:

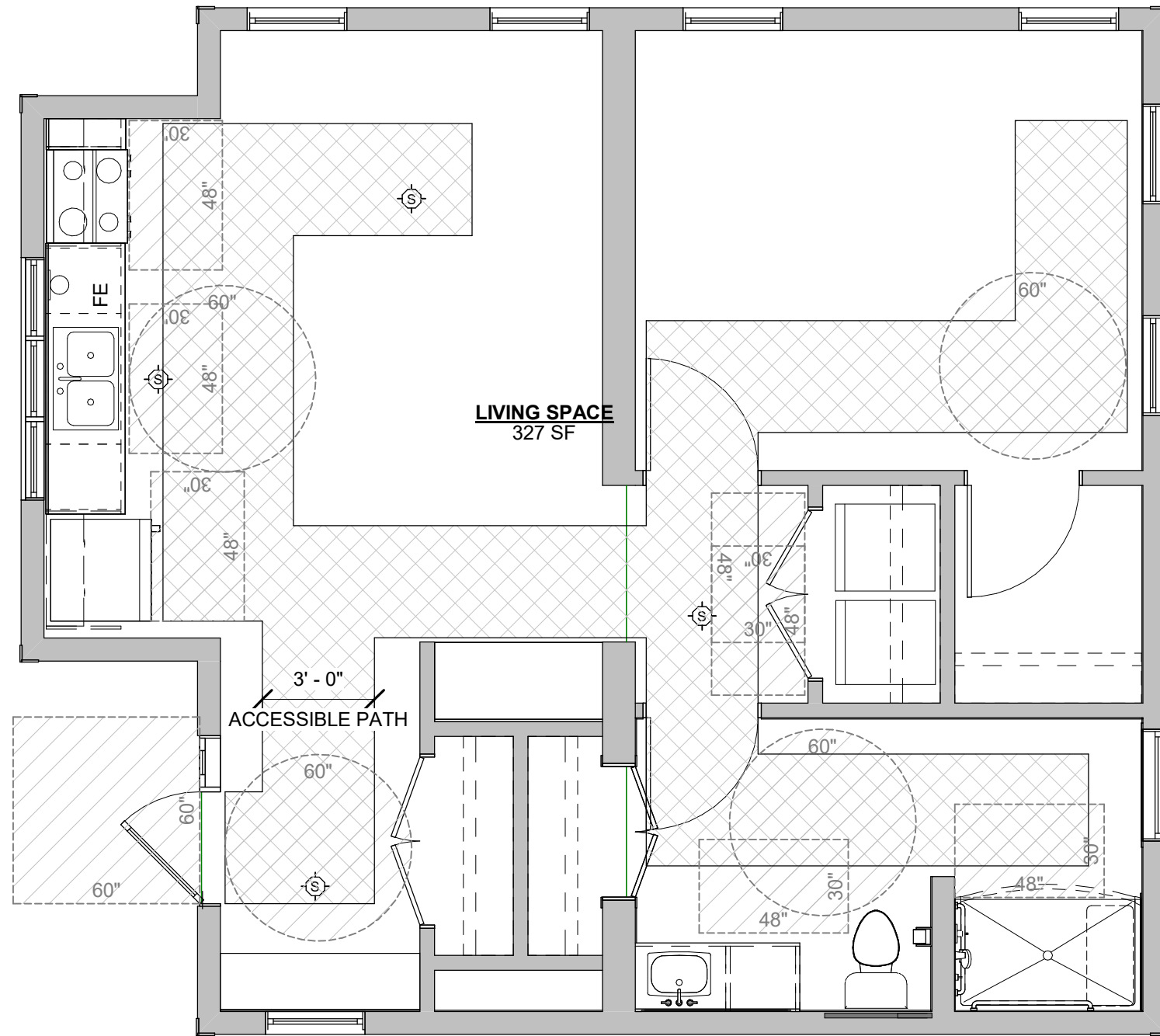
SHEET NAME:

ROOF FRAMING  
 PLAN

JOB NUMBER:

ISSUE DATE: 09/28/23

A02.13



**1** ACCESSIBILITY PLAN - LEVEL 01  
 1/4" = 1'-0"

# ADU - ROANOKE

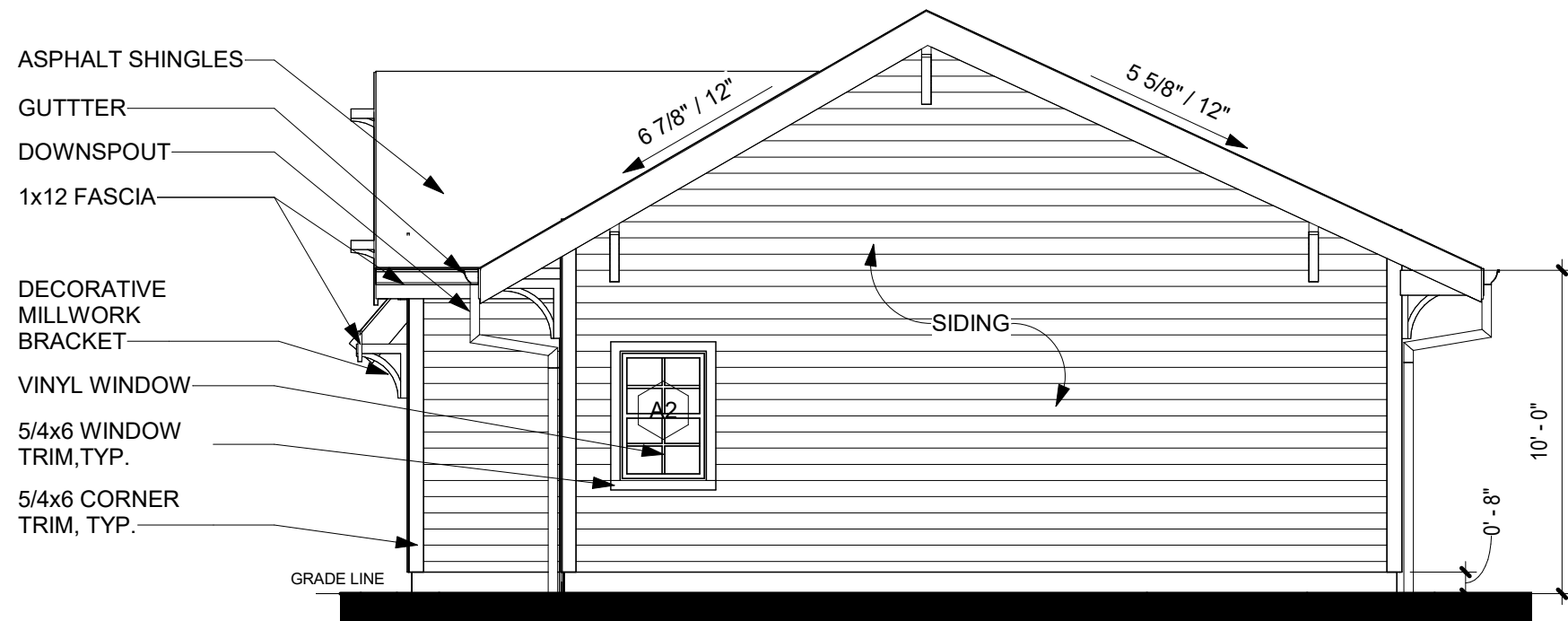
OWNER:  
 PROJECT ADDRESS:

SHEET NAME:  
**ACCESSIBILITY PLAN**

JOB NUMBER:  
 ISSUE DATE: 09/28/23

## A02.21





2 ELEVATION - SOUTH  
3/16" = 1'-0"



1 ELEVATION - NORTH  
3/16" = 1'-0"

ADU - ROANOKE

OWNER:  
PROJECT ADDRESS:

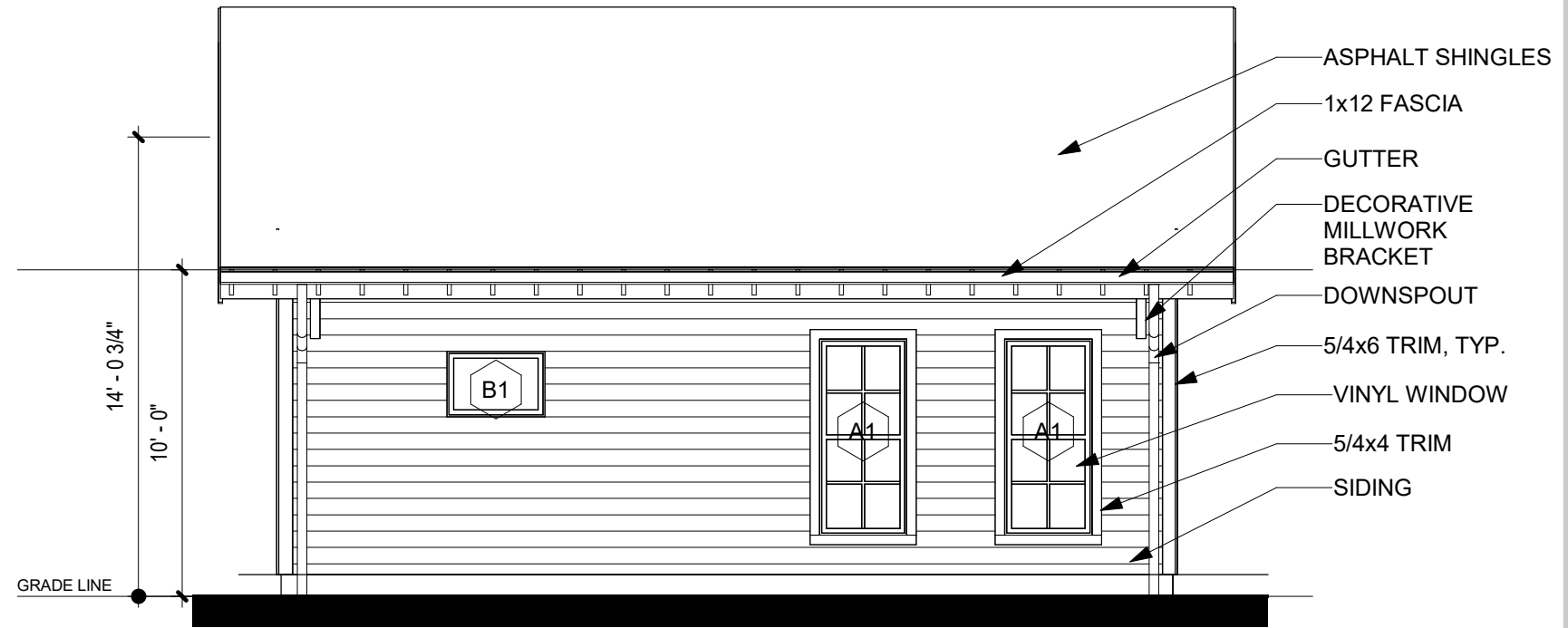
SHEET NAME:

EXTERIOR  
ELEVATIONS

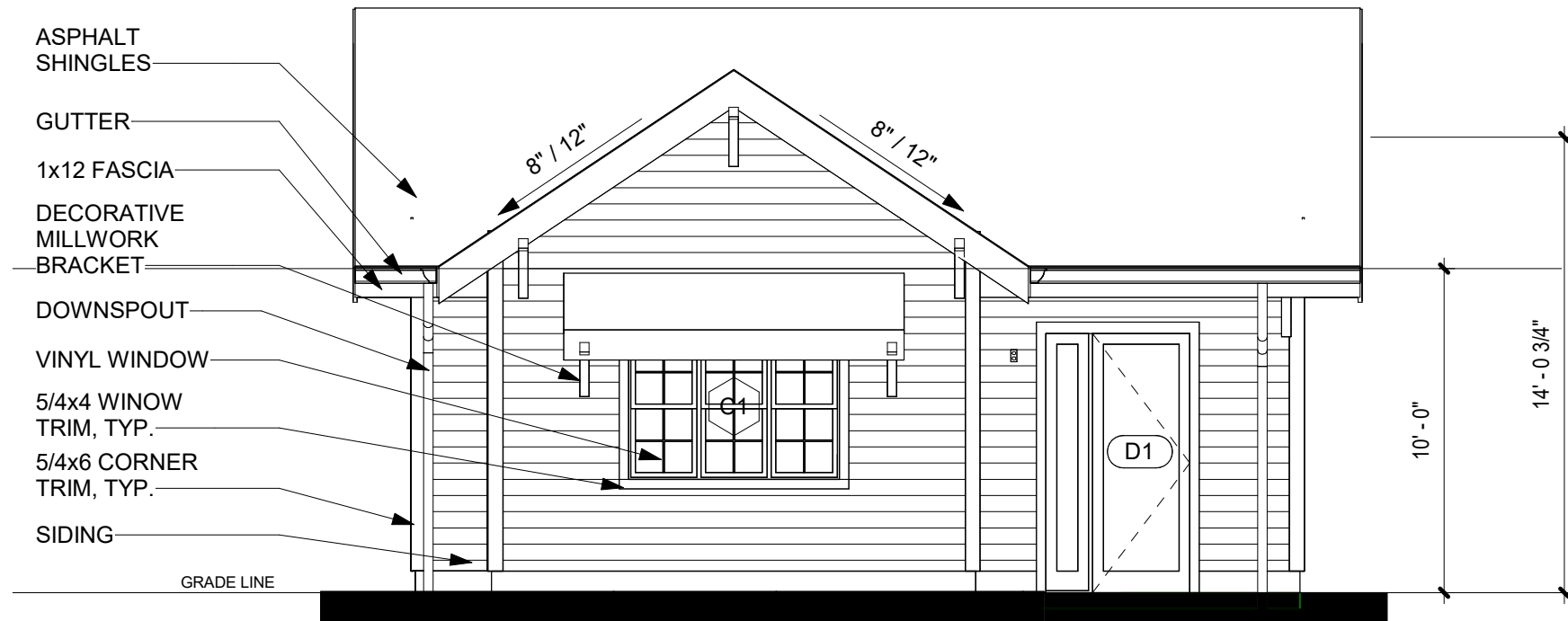
JOB NUMBER:

ISSUE DATE: 09/28/23

A03.01



**2** ELEVATION - EAST  
3/16" = 1'-0"



**1** ELEVATION - WEST  
3/16" = 1'-0"

NOTE:  
EXTERIOR WOODEN ELEMENTS ON A  
DWELLING'S FAÇADE FACING A REQUIRED  
FRONT YARD SHALL BE PAINTED OR  
STAINED WITH AN OPAQUE STAIN.

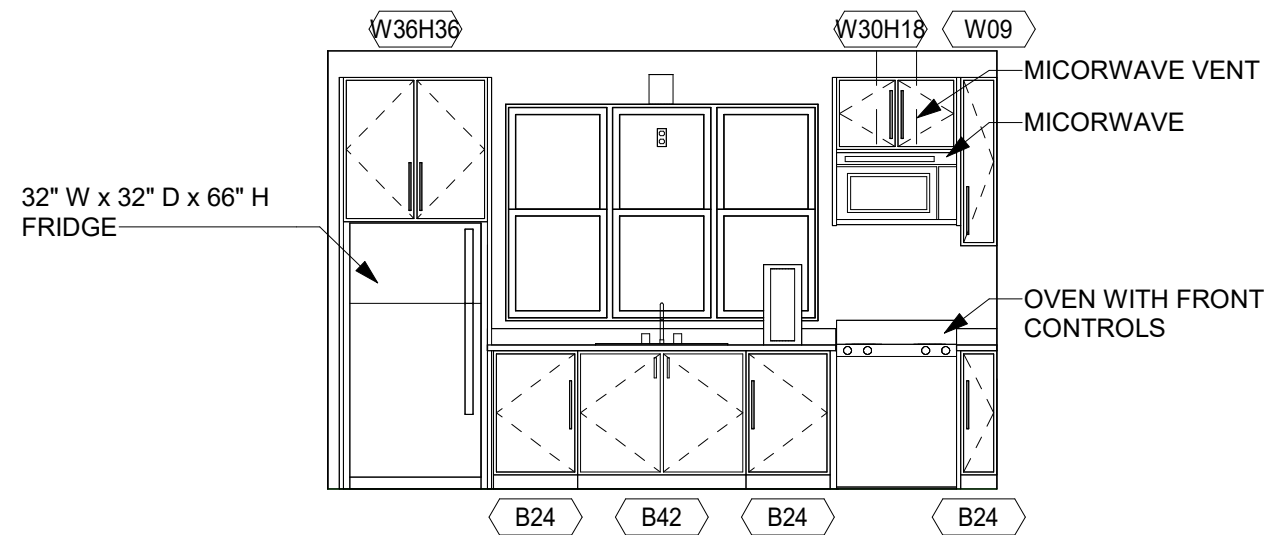
ADU - ROANOKE

OWNER:  
PROJECT ADDRESS:

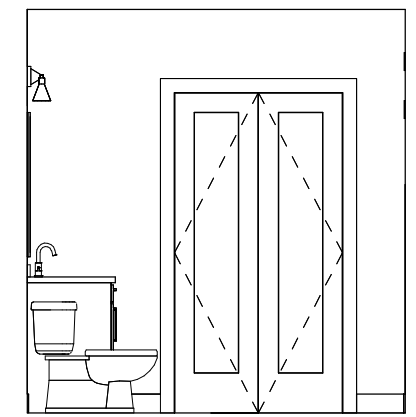
SHEET NAME:  
EXTERIOR  
ELEVATIONS

JOB NUMBER:  
ISSUE DATE: 09/28/23

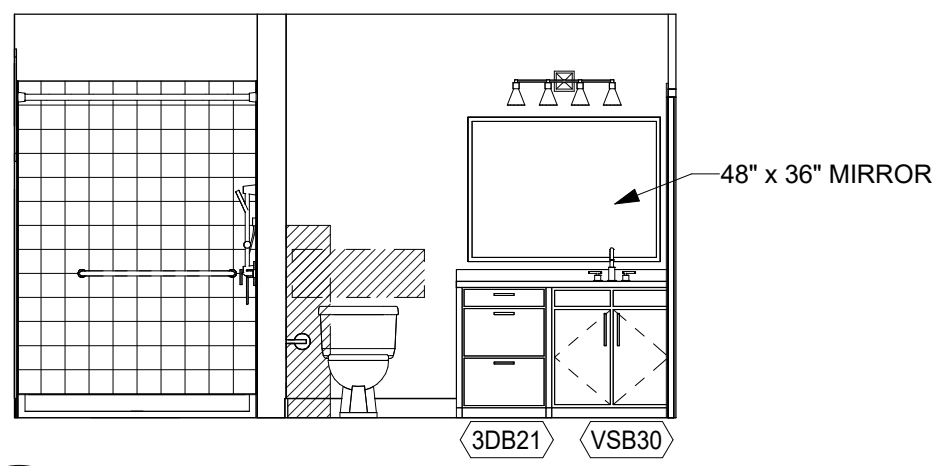
A03.02



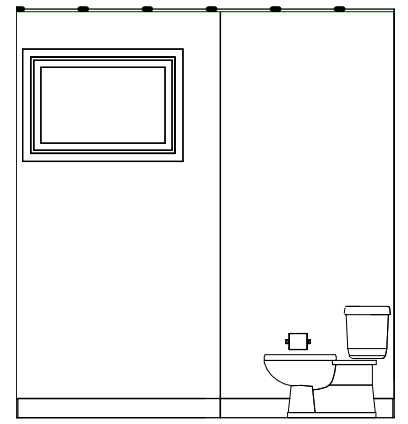
**5** KITCHEN ELEVATION  
1/4" = 1'-0"



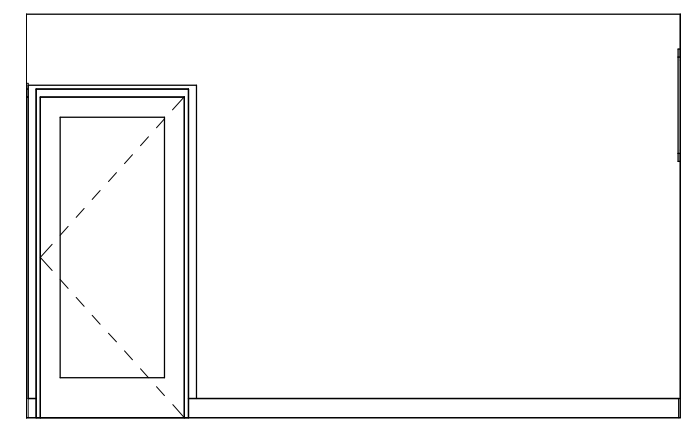
**4** BATH ELEVATION - 4  
1/4" = 1'-0"



**3** BATH ELEVATION - 3  
1/4" = 1'-0"



**2** BATH ELEVATION - 2  
1/4" = 1'-0"



**1** BATH ELEVATION - 1  
1/4" = 1'-0"

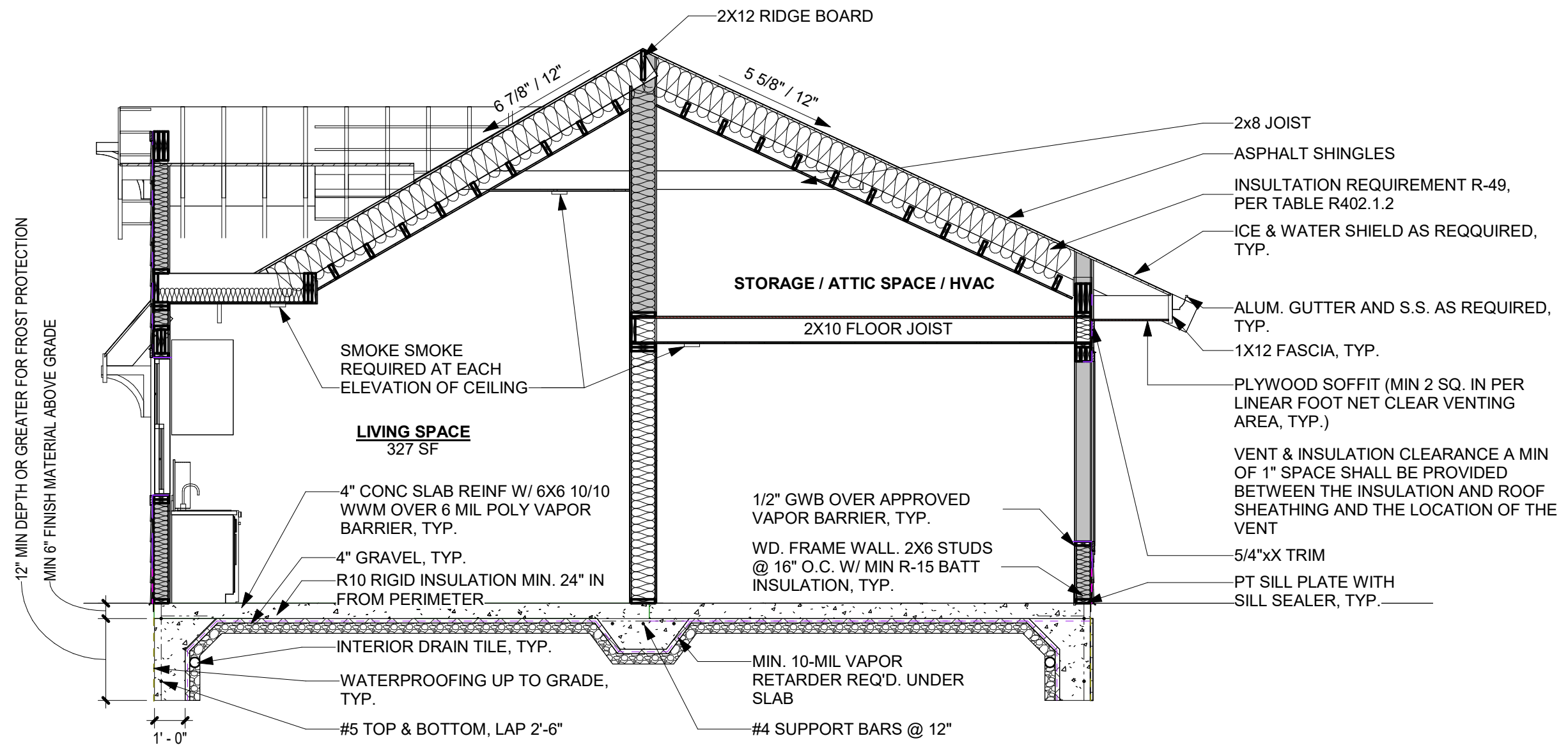
ADU - ROANOKE

OWNER:  
PROJECT ADDRESS:

SHEET NAME:  
INTERIOR  
ELEVATIONS

JOB NUMBER:  
ISSUE DATE: 09/28/23

A04.01



1 SECTION - A  
1/4" = 1'-0"

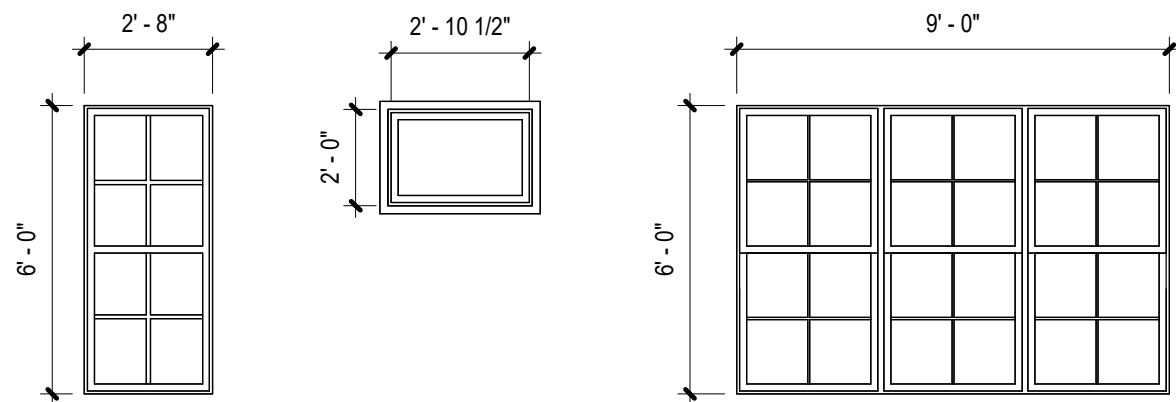
ADU - ROANOKE

OWNER:  
PROJECT ADDRESS:

SHEET NAME:  
SECTIONS

JOB NUMBER:  
ISSUE DATE: 09/26/23

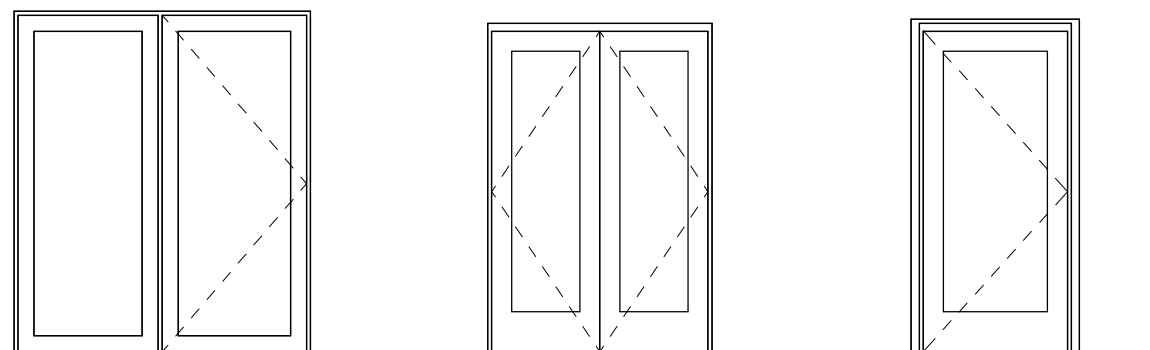
A05.01



**A1, A2**  
DOUBLE HUNG

**B1**  
TRANSOM SINGLE

**C1**  
TRIPLE MULTIPANE



**U1**  
SWING DOOR WITH SIDELIGHT

**U2, U3**  
SWING DOUBLE DOOR

**U4**  
SWING SINGLE DOOR

WINDOW SCHEDULE

Type	Type Mark	Width	Height	Sill Height	Comments
W## - 32"w x 48"h (4 over 4)	A2	2' - 8"	4' - 0"	3' - 6"	
W## - 32"w x 72"h (4 over 4)	A1	2' - 8"	6' - 0"	1' - 10 1/2"	
W## - 32"w x 72"h (4 over 4)	A1	2' - 8"	6' - 0"	1' - 10 1/2"	
W## - 32"w x 72"h (4 over 4)	A1	2' - 8"	6' - 0"	1' - 10 1/2"	
78"w x 54"h	C1	6' - 6"	4' - 6"	3' - 6"	
W## - 40"w x 24"h	B1	3' - 0"	2' - 0"	5' - 6"	
W## - 32"w x 72"h (4 over 4)	A1	2' - 8"	6' - 0"	1' - 10 1/2"	
W## - 32"w x 72"h (4 over 4)	A1	2' - 8"	6' - 0"	1' - 10 1/2"	
W## - 32"w x 72"h (4 over 4)	A1	2' - 8"	6' - 0"	1' - 10 1/2"	

DOOR SCHEDULE

Family	Type Mark	Height	Width	Comments
Swing SGL w (1) Side Light	U1	8' - 0"	3' - 0"	DEADBOLT LOCK
Swing DBL Unit	U2	6' - 8"	2' - 3"	
Swing DBL Unit	U2	6' - 8"	2' - 3"	
Swing DBL Unit	U3	6' - 8"	1' - 9"	
Swing DBL Unit	U3	6' - 8"	1' - 9"	
Swing SGL Unit	U4	6' - 8"	3' - 0"	
Swing SGL Unit	U4	6' - 8"	3' - 0"	
Swing SGL Unit	U4	6' - 8"	3' - 0"	

ADU - ROANOKE

OWNER:  
PROJECT ADDRESS:

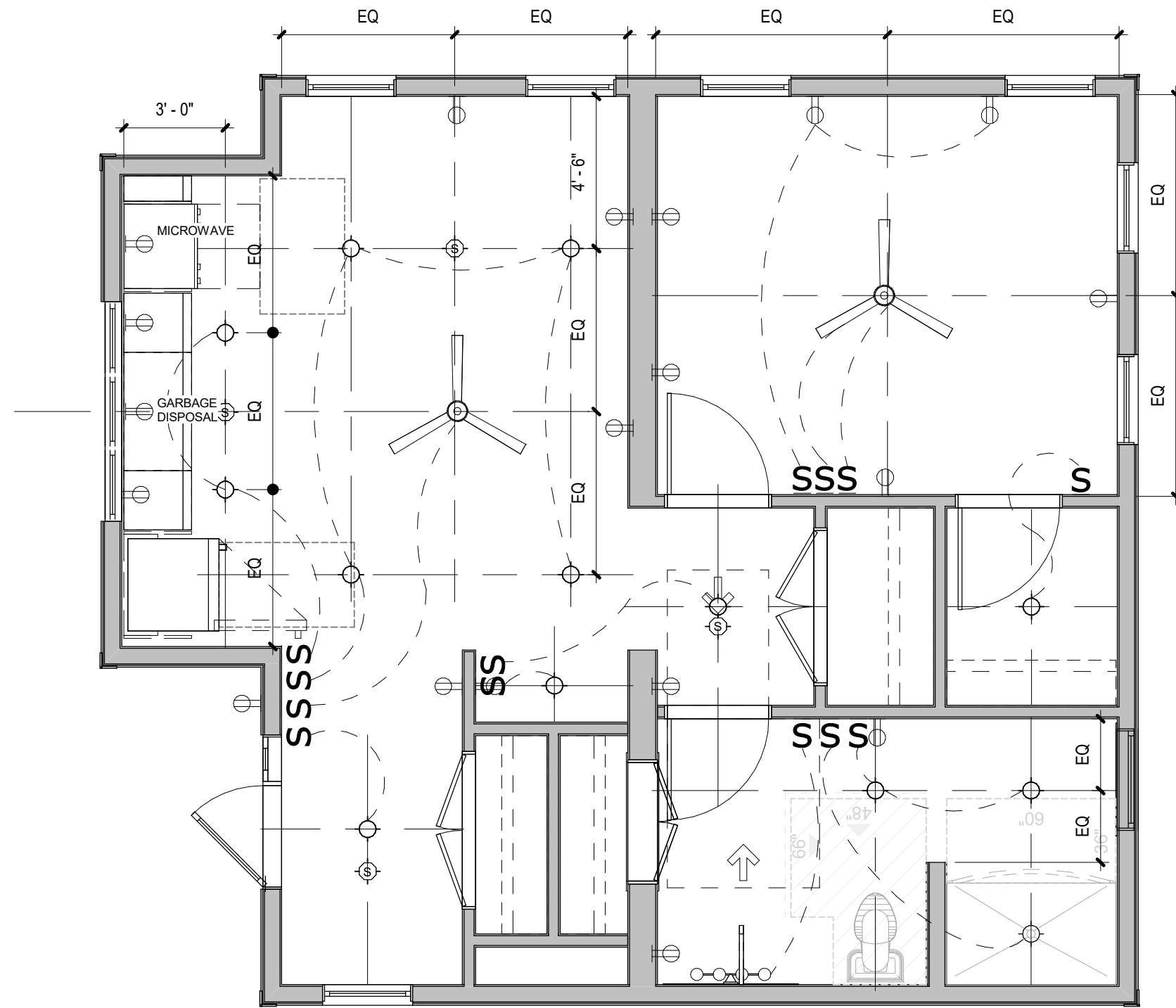
SHEET NAME:

WINDOW AND DOOR SCHEDULE

JOB NUMBER:

ISSUE DATE: 09/26/23

A06.01



	SCONCE
	CEILING FAN
	CEILING LIGHT
	OUTLET, GFCI AT WET LOCATIONS
	SWITCH
	SMOKE ALARM

**GENERAL NOTES**

- ALL PERMANENT LIGHT CONTROLS SHALL BE CONTROLLED BY A DIMMER WITH THE EXCEPTION OF BATHROOMS, HALLWAYS, SAFETY, AND EXTERIOR LIGHTS
- EXTERIOR LIGHTS SHALL HAVE AUTO-SHUTOFF CAPABILITIES DURING DAYLIGHT HOURS
- ALL PERMANENT LIGHT FIXTURES SHALL BE HIGH EFFICACY, WITH THE EXCEPTION OF KITCHEN APPLIANCE LIGHT FIXTURES

**1** ELECTRICAL PLAN  
1/4" = 1'-0"

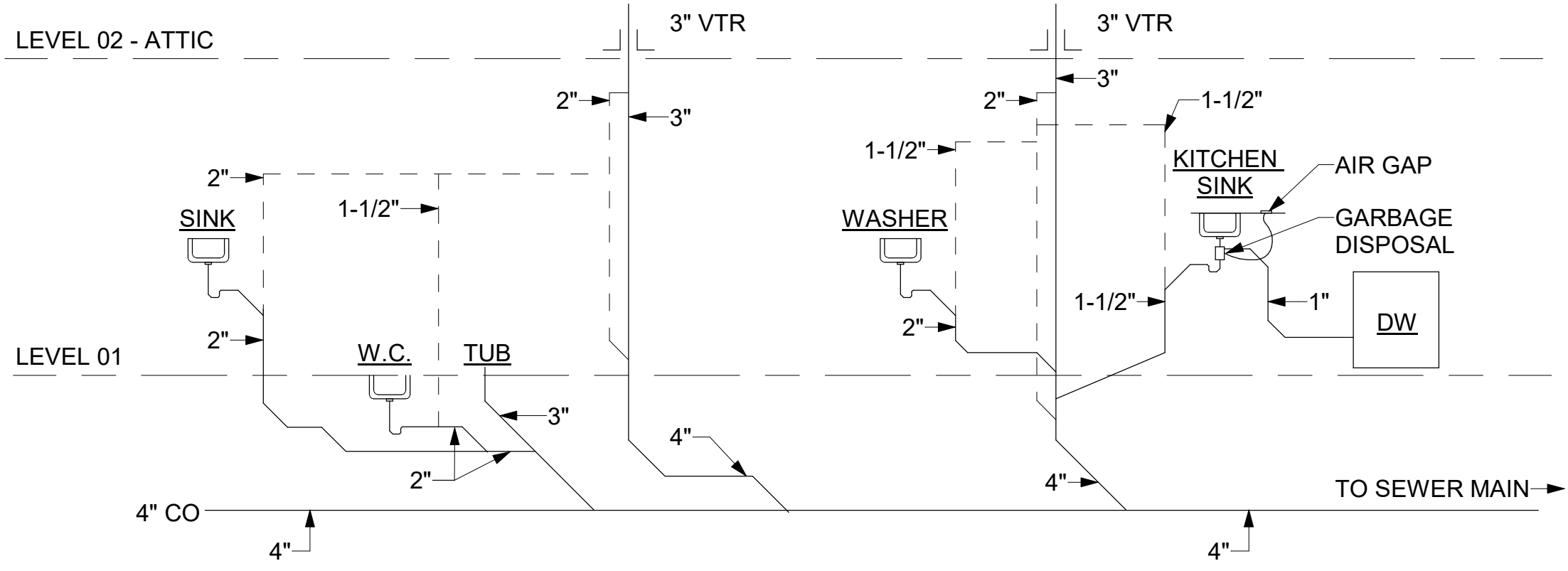
**ADU - ROANOKE**

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PROJECT ADDRESS:

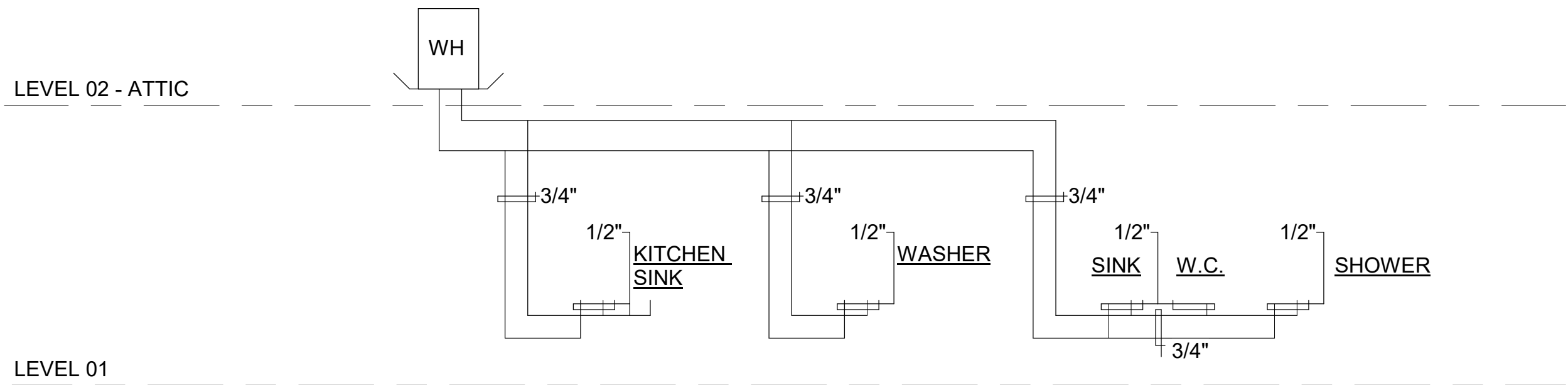
SHEET NAME:  
**ELECTRICAL AND LIGHTING**

JOB NUMBER:  
ISSUE DATE: 09/26/23

**A06.02**



**2** SANITARY WASTE DIAGRAM  
3/4" = 1'-0"



**1** DOMESTIC SUPPLY DIAGRAM  
3/4" = 1'-0"

ADU - ROANOKE

OWNER:  
PROJECT ADDRESS:

SHEET NAME:  
PLUMBING

JOB NUMBER:  
ISSUE DATE: 09/26/23

A06.03

ROOF

4" DS

4" DS

4" DS

4" DS

LEVEL 02 - ATTIC

← 4"

← 4"

← 4"

← 4"

LEVEL 01

TO STORM MAIN →

6" ↑

1 **STORM WATER DIAGRAM**  
 3/4" = 1'-0"

ADU - ROANOKE

OWNER:  
PROJECT ADDRESS:

SHEET NAME:  
PLUMBING

JOB NUMBER:  
ISSUE DATE: 09/26/23

A06.04